

Est. 1995

HUNT ROCHE

The Estate Agent



Asking Price: £150,000

Flat, Homerowan House, Station Road, Thorpe Bay, Essex, SS1 3LU



This bright south facing Retirement apartment is situated on the front second floor of this sought after purpose built development, ideally located adjacent to the Broadway shops, mainline railway station and bus stop. This lovely flat has been fully refurbished throughout to a high standard including a modern 'Shaker' style fitted kitchen plus a modern shower room. Offered at a great price and with immediate vacant possession.

Communal Entrance Hall:

Approached via security entry door. Stairs and lift to second floor. Door to flat.

Entrance Hall:

Charming entrance hall. Coved ceiling with recessed lighting. Entry system. Large storage cupboard housing service metres and hot water system. Doors to accommodation.

Lounge:

17'4" x 10'7" (5.28m x 3.23m)

A bright well proportioned south facing room with double glazed window to front. Attractive feature fireplace with log effect electric fire. Storage heater. Coved ceiling with recessed lighting. Two wall light points. Archway leading to:

Kitchen:

7' x 5'5" (2.13m x 1.65m)

Fitted with a modern range of cream 'Shaker' style fronted units comprising rolled edge work surface with inset stainless steel sink unit with mixer tap. Range of cupboards and drawers below. Inset four ring ceramic hob with concealed extractor above. Saucepan drawers below. Oven housing with built in stainless steel oven. Cupboard above and space below for refrigerator. Matching wall mounted storage cabinets. Coved ceiling with recessed lighting. Tiled walls. Tiled floor.

Bedroom One:

15' x 8'7" (4.57m x 2.62m)

Plus mirror fronted built in wardrobe cupboards. A good size and bright south facing double bedroom with double glazed window to front. Storage heater. Coved ceiling with recessed lighting. Two wall light points.

Shower Room/WC:

Fitted with a modern white suite comprising fully tiled double corner shower cubicle. Pedestal wash basin with mixer tap. Pop up waste. Low flush WC. Attractive tiled walls. Wood effect flooring. Chrome heated electric towel rail. Electric wall heater. Coved ceiling with recessed lighting. Large mirror. Shaver point.

Communal Gardens:

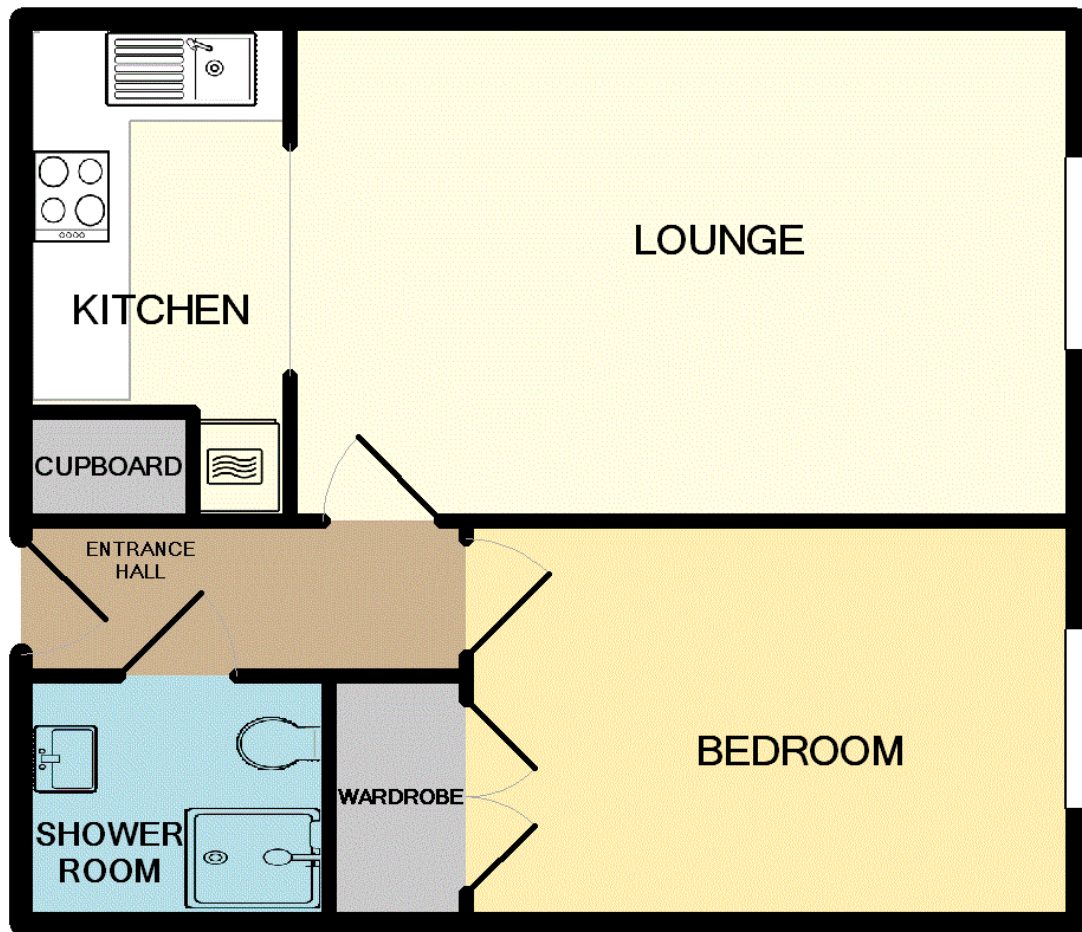
Attractive and beautifully established communal rear gardens laid to lawn with maturing trees and shrubs. Seating areas.

Parking:

Car park to the rear of the development, plus a garage for mobility scooter storage and charging.

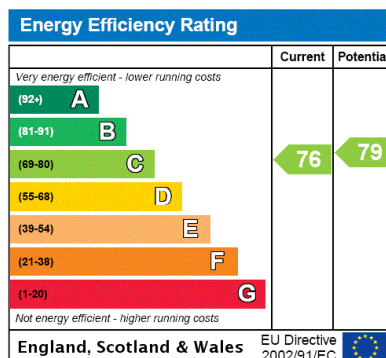
Communal Facilities:

The development benefits from a fun and social communal lounge, plus communal laundry room and guest bedroom suite.



Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given
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